



*green building
alternatives* |

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INSULATION SPECIFICATIONS FOR 1744 JOHNSON ST.

VERSION 4 _ 03-06-2007



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Green Building Alternatives, LLC is soliciting proposals for the mechanical and insulation portions of a row home rehab project in Federal Hill, Baltimore.

About us and the project

Green Building Alternatives, LLC, is a startup green building business owned by Erik and Laura Steensen. We're initially focused on rehabbing this Baltimore City row home in Federal Hill for resale. Among the most quantifiably "Green" aspects of the project is that it will be Energy Star certified.

Project description

It's a single family row home located across from Riverside Park in Federal Hill, Baltimore that has been gutted. We are completing framing of all floors and are ready for trade rough-in to being the week of 12/26.

Address of the property

1744 Johnson St
Baltimore, MD 21230

Bid request

We are asking each interested party for two proposals.

1. Labor and materials (not including fixtures for plumbing and electric, we supply fixtures)
2. Labor only (we supply materials)

Documentation downloads

The latest drawings and specifications organized by trade can be downloaded from <http://www.gbalternatives.com/1744johnsonst.html>.

Note: The team members that compiled the specifications and drawings are not experts in either of the trades represented. Please review the documents with a critical eye and tell us if you see errors, bad design, or if you think there are better design alternatives.

Proposal submission

Please submit bids via fax or email. If you have comments or questions and prefer to talk with us by phone or in person, please include proposed dates and times when you are available in your message.

Leticia Machado
Phone: 410-528-8899
Fax: 410-558-6312
Email: LS@GBAalternatives.com (preferred)

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SPECIFICATIONS

DIVISION 7. THERMAL PROTECTION

07000 – General - Contractor shall review construction documents and provide labor pertaining to thermal protection work as required in said documents and as specified herein, while complying with all applicable building codes.

07200 – Thermal Protection - Insulation - Effective R values shall be in accordance with local and state energy codes. Floor, walls, ceilings, and drain piping insulation shall be constructed with **Bonded Logic non-kraft faced cotton** insulation. Metal bands will be used to secure the insulation in placed as needed.

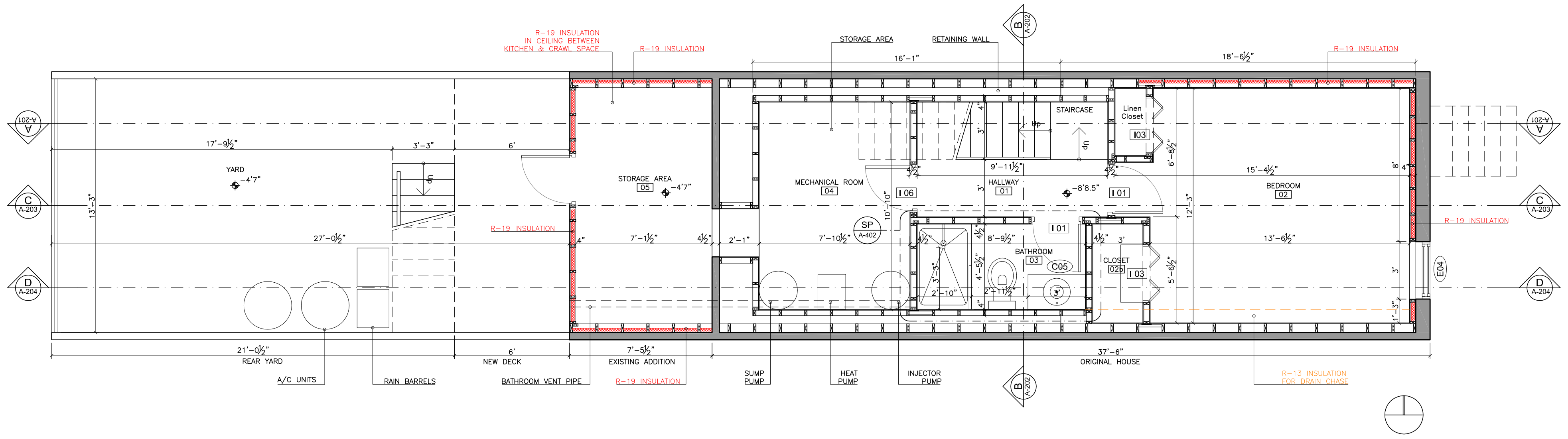
Exterior Walls –For details of location and corresponding R value required in each wall see floor plan documents and attached spread sheet. Exterior walls are defined as walls that are directly exposed to the exterior and do not butt against a neighboring property. Wall insulation shall have a value of **R-13** in the following exterior walls: 3rd floor facing East, all walls from the 1st floor level to 3rd floor facing West, 1st, 2nd and 3rd floor exterior walls facing South; 2nd and 3rd floor exterior walls facing North; all sun tunnel structure.

Wall insulation shall have a value of **R-19** in the following exterior walls: all crawl space walls; 1st floor kitchen north wall; all walls from the basement level to 2nd floor facing East; under the cantilevered area of Second Floor Rear Bedroom

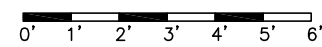
Interior Walls - Install **R-13** insulation around 2nd floor washer/dryer and 2nd Floor Heat Pump closet for sound attenuation. All plumbing drain chases in interior walls and the basement bedroom north wall shall be insulated with R-19 insulation for sound attenuation.

Floors - Between crawl space and First Floor Kitchen install **R-19** insulation.

Roof -Insulation shall be **one layer of R-13 16”** placed first in the cavity of the roof joists and **one layer of R-19 24”** placed next, underneath the R-13 in 3rd floor roof area where ceiling is dropped for a total of R-32. The 2nd floor roof and dormer roof will have one layer of R-13 16”and one layer of R-19 16” for a total of R-32. Pitched 3rd floor roof will have one layer of R-19. Secure insulation with metal bands or wire as needed to ensure it’s placement in the cavity.



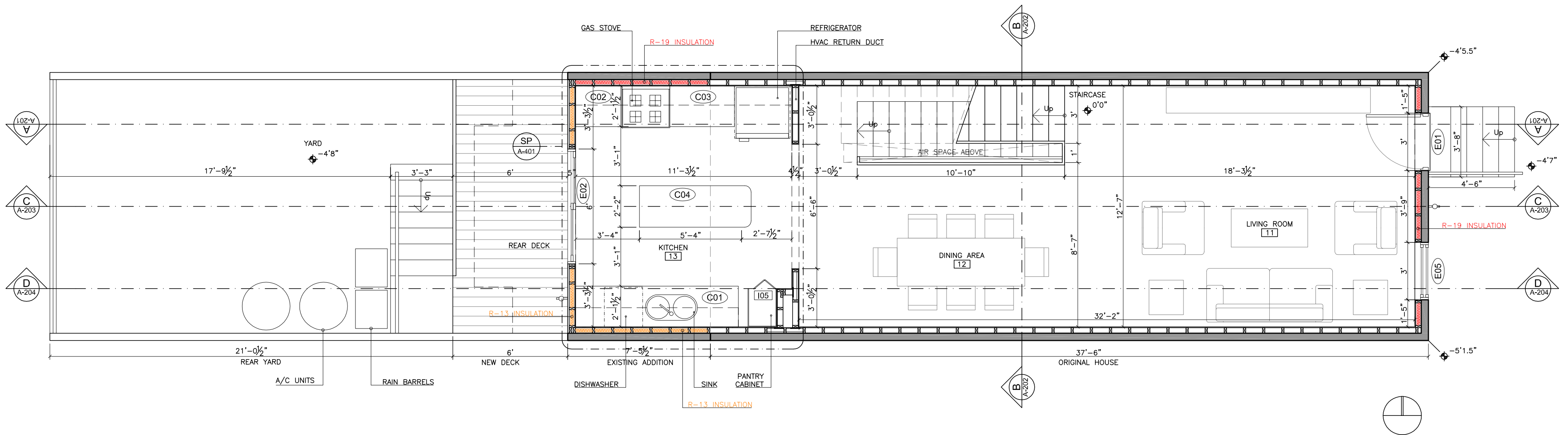
BASEMENT PLAN
SCALE 1/4"=1'



- Notes:
- R-13 insulation
 - R-19 insulation
 - R-32 insulation

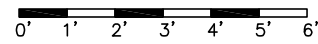
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GREEN BUILDING ALTERNATIVES

PROJECT Residence in 1744 Johnson St. Baltimore, MD 21230		SCALE 1/4"=1'	DATE 02/27/07	REV. N° 15	REV. N°	DESCRIPTION	DATE	APPROVED
CLIENT Erik Steensen Laura Steensen	DRAWN BY FD	REVISED BY CA	APPROVED BY	R8	Internal Information	05/19/06		Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.
TITLE PROJECT DESIGN BASEMENT PLAN	FILE NAME A_GB_100_R15.dwg	SHEET A-100	R9	Internal Information	06/15/06			
			R10	Internal Information	06/27/06			
			R11	Internal Information	07/08/06			
			R12	Internal Information	09/11/06			
			R13	Internal Information	11/07/06			
			R14	Internal Information	12/18/06			
			R15	Internal Information	02/27/07			



FIRST FLOOR PLAN

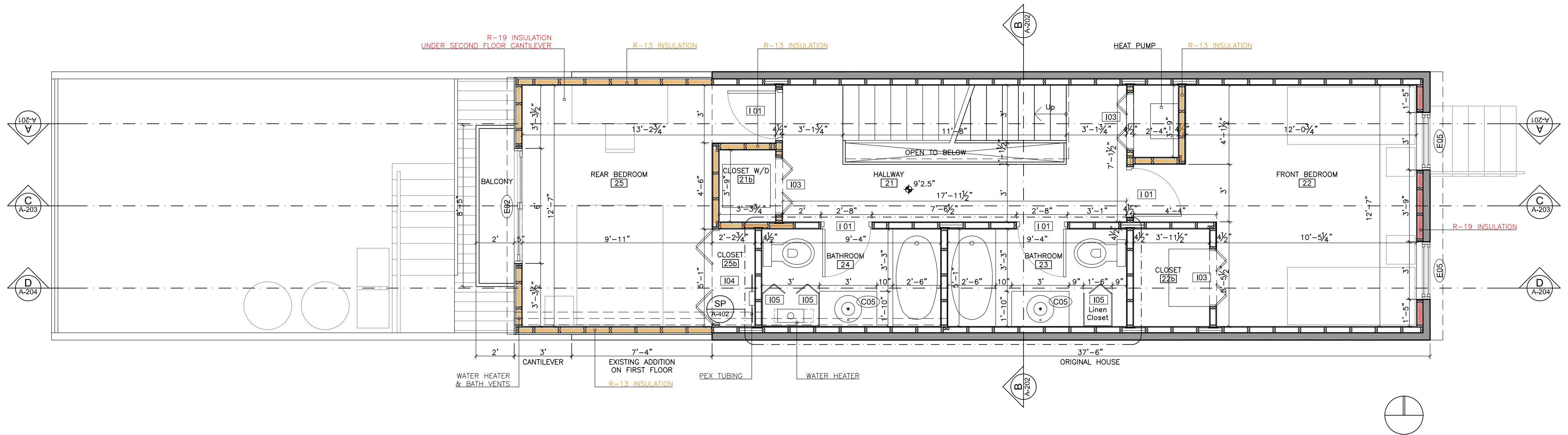
SCALE 1/4"=1'



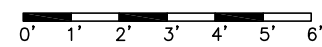
- Notes:
- R-13 insulation
 - R-19 insulation
 - R-32 insulation

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PROJECT Residence in 1744 Johnson St. Baltimore, MD 21230		SCALE 1/4"=1'	DATE 02/27/07	REV. N° 15	REV. N°	DESCRIPTION	DATE	APPROVED
CLIENT Erik Steensen Laura Steensen		DRAWN BY FD	REVISED BY CA	APPROVED BY	R8	Internal Information	05/19/06	Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.
TITLE PROJECT DESIGN FIRST FLOOR PLAN		FILE NAME A_GB_101_R15.dwg	SHEET A-101	R9	Internal Information	06/15/06		
				R10	Internal Information	06/27/06		
				R11	Internal Information	07/08/06		
				R12	Internal Information	09/11/06		
				R13	Internal Information	11/07/06		
				R14	Internal Information	12/18/06		
				R15	Internal Information	02/27/07		



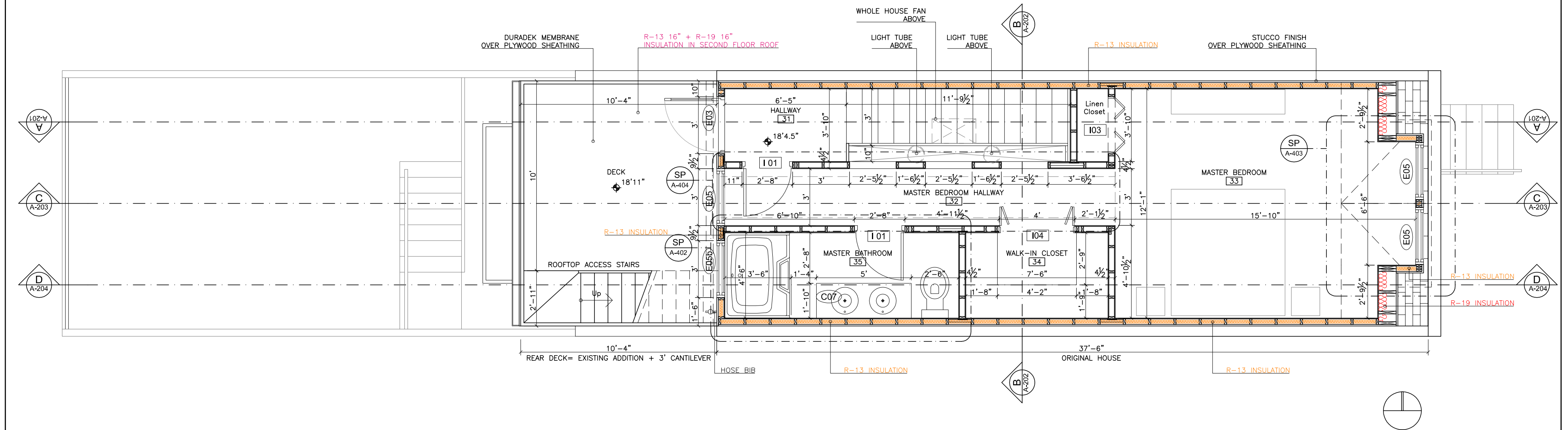
SECOND FLOOR PLAN
SCALE 1/4"=1'



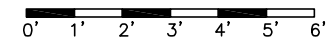
- Notes:
- R-13 insulation
 - R-19 insulation
 - R-32 insulation

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PROJECT Residence in 1744 Johnson St. Baltimore, MD 21230		SCALE 1/4"=1'	DATE 02/27/07	REV. N° 15	REV. N°	DESCRIPTION	DATE	APPROVED
CLIENT Erik Steensen Laura Steensen		DRAWN BY FD	REVISED BY CA	APPROVED BY	R8	Internal Information	05/19/06	Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.
TITLE PROJECT DESIGN SECOND FLOOR PLAN		FILE NAME A_GB_102_R15.dwg	SHEET A-102	R9	Internal Information	06/15/06		
				R10	Internal Information	06/27/06		
				R11	Internal Information	07/08/06		
				R12	Internal Information	09/11/06		
				R13	Internal Information	11/07/06		
				R14	Internal Information	12/18/06		
				R15	Internal Information	02/27/07		



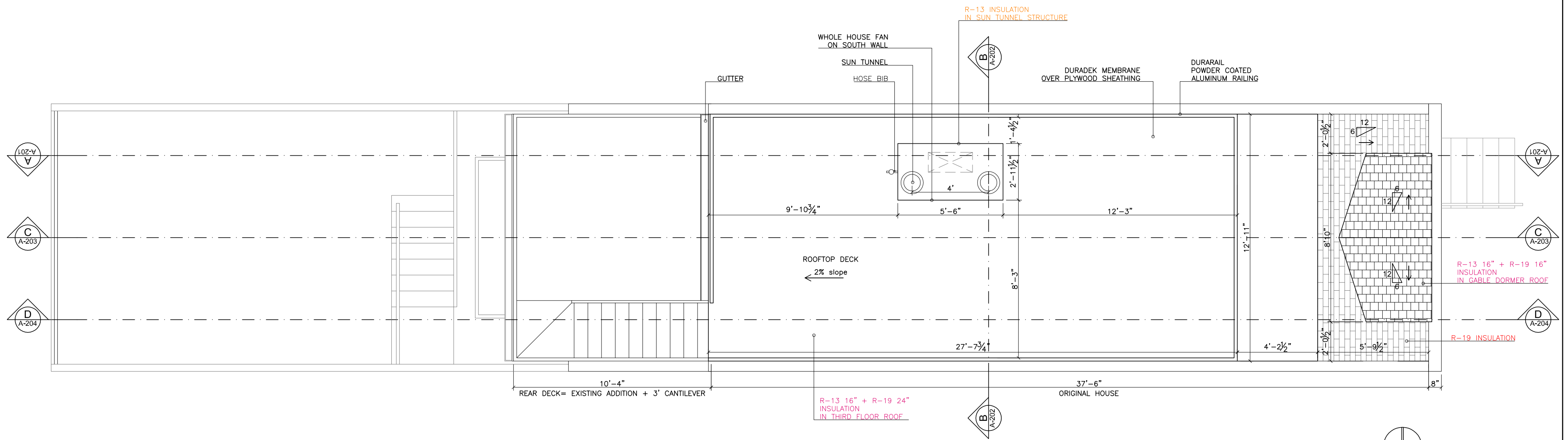
THIRD FLOOR PLAN
SCALE 1/4"=1'



- Notes:
- R-13 insulation
 - R-19 insulation
 - R-32 insulation

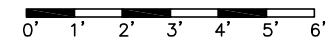
GBA
GREEN BUILDING ALTERNATIVES

PROJECT Residence in 1744 Johnson St. Baltimore, MD 21230		SCALE 1/4"=1'	DATE 02/27/07	REV. N° 15	REV. N°	DESCRIPTION	DATE	APPROVED
CLIENT Erik Steensen Laura Steensen		DRAWN BY FD	REVISED BY CA	APPROVED BY	R8	Internal Information	05/19/06	Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.
TITLE PROJECT DESIGN THIRD FLOOR PLAN		FILE NAME A_GB_103_R15.dwg	SHEET A-103	R9	Internal Information	06/15/06		
				R10	Internal Information	06/27/06		
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				R12	Internal Information	09/11/06		
				R13	Internal Information	11/07/06		
				R14	Internal Information	12/18/06		
				R15	Internal Information	02/27/07		



ROOFTOP PLAN

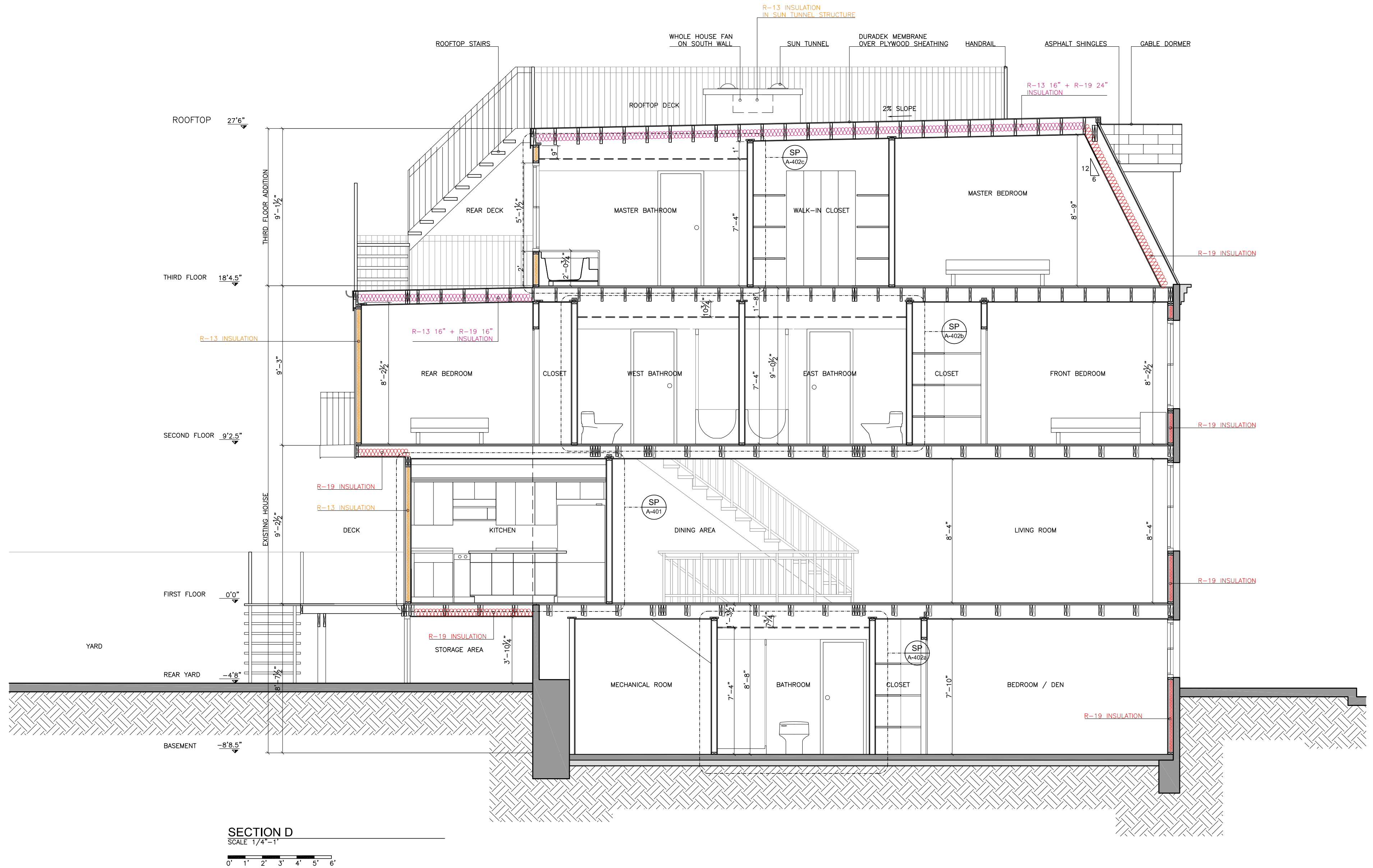
SCALE 1/4" = 1'



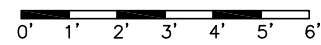
- Notes:
- R-13 insulation
 - R-19 insulation
 - R-32 insulation

GBA
GREEN BUILDING ALTERNATIVES

PROJECT	Residence in 1744 Johnson St. Baltimore, MD 21230			SCALE	DATE	REV. N°	REV. N°	DESCRIPTION	DATE	APPROVED	Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.
CLIENT	Erik Steensen Laura Steensen			1/4"=1'	02/27/07	15	R8	Internal Information	05/19/06		
TITLE	PROJECT DESIGN ROOFTOP PLAN			DRAWN BY	REVISED BY	APPROVED BY	R9	Internal Information	06/15/06		
				FD	CA		R10	Internal Information	06/27/06		
				FILE NAME		SHEET	R11	Internal Information	07/08/06		
				A_GB_104_R15.dwg		A-104	R12	Internal Information	09/11/06		
							R13	Internal Information	11/07/06		
							R14	Internal Information	12/18/06		
							R15	Internal Information	02/27/07		



SECTION D
SCALE 1/4"=1'



- Notes:
- R-13 insulation
 - R-19 insulation
 - R-32 insulation

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PROJECT	Residence in 1744 Johnson St. Baltimore, MD 21230			SCALE	DATE	REV. N°	REV. N°	DESCRIPTION	DATE	APPROVED	Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.
CLIENT	Erik Steensen Laura Steensen			1/4"=1'	02/27/07	15	R8				
TITLE	PROJECT DESIGN SECTION D			DRAWN BY	REVISED BY	APPROVED BY	R9				
				FD	CA		R10				
				FILE NAME		SHEET	R11				
				A_GB_204_R15.dwg		A-204	R12	Internal Information	11/17/06		
							R13	Internal Information	12/18/06		
							R15	Internal Information	02/27/07		

INSULATION				
	SECTOR	R-13 (sq ft)	R-19 (sq ft)	Notes
NORTH WALL	Basement bedroom		160	
	Crawl space		29	
	First Floor - kitchen		64	Studs @ 12" OC
	Second Floor Rear Bedroom	94		
	Third Floor	335		
	Gable dormer side wall	10		
SOUTH WALL	Crawl space		29	
	First Floor - kitchen	64		Studs @ 12" OC
	Second Floor Rear Bedroom	94		
	Third Floor	335		
	Gable dormer side wall	10		
EAST WALL	Basement		89	
	First Floor		69	
	Second Floor		76	
	Gable dormer front wall	33		
WEST WALL	Crawl space		44	
	First & Second Floor	157		
	Third Floor	59		

FIRST FLOOR	Between crawl space & kitchen		98	
SECOND FLOOR	Under cantilever sector		40	
THIRD FLOOR	Rear deck	140	140	R13 16" + R19 16"
ROOFTOP	Flat Roof	429	429	R13 16" + R19 24"
	Pitched roof		83	
	Gable dormer roof	42	42	R13 16" + R19 16"
	Sun tunnel structure	42		Includes walls & roof

BASEMENT	Drain chase	24		
SECOND FLOOR	W/D Closet	109		
	Heat Pump Closet	67		

TOTALS		2043	1231	
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NOTE: All dimensions and quantities given are subject to job site verification and adjustment to fit job site conditions. Quantities do not include any percentage of Construction Waste.