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GYPSUM WALLBOARD SPECIFICATIONS FOR 1744 JOHNSON ST.

VERSION 2 _ 02-01-2007



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Green Building Alternatives, LLC is soliciting Gypsum Wallboard proposals for a row home rehab project in Federal Hill, Baltimore.

About us and the project

Green Building Alternatives, LLC, is a startup green building business owned by Erik and Laura Steensen. We're initially focused on rehabbing this Baltimore City row home in Federal Hill for resale. Among the most quantifiably "Green" aspects of the project is that it will be Energy Star certified.

Project description

It's a single family row home located across from Riverside Park in Federal Hill, Baltimore that has been gutted. We expect rough-in and insulation to be complete mid-February.

Address of the property

1744 Johnson St
Baltimore, MD 21230

Bid request

We are asking each interested party for two proposals.

1. Labor and materials
2. Labor only (we supply materials)

Documentation downloads

The latest drawings and specifications organized by trade can be downloaded from <http://www.gbalternatives.com/johnsonst>

Note: The team members that compiled the specifications and drawings are not experts in either of the trades represented. Please review the documents with a critical eye and tell us if you see errors, bad design, or if you think there are better design alternatives.

Proposal submission

Please submit bids via fax or email. If you have comments or questions and prefer to talk with us by phone or in person, please include proposed dates and times when you are available in your message.

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SPECIFICATIONS

DIVISION 9. FINISHES

09000 – General - Contractor shall review construction documents and provide labor and materials pertaining to the finishes as required in said documents and as specified herein, while complying with all applicable building codes.

09250 – Gypsum Wallboard - Gypsum board must be held firmly against the framing while fastening to avoid later movement of gypsum board on the shank of the nails or screws.

Nails or Screws: Nails and screws shall be a minimum 3/8” and a maximum of 1/2” from edges and ends of wallboard and the heads shall be seated slightly below the surface without breaking the paper. Nails shall be spaced not to exceed 7” on ceilings or 8” on sidewalls. Head diameter shall be a nominal 1/4” with the length 1 1/2” to penetrate a minimum of 7/8” into nailing member. Nails shall meet the minimum requirements of ASTM C514 and may include coated, etched treated or annular ring shanks to improve withdrawal resistance. Drywall screws shall meet the minimum requirements of ASTM C1002. Bugle-shaped heads shall be 0.315” in nominal diameter and contain a No. 2 Phillips driving recess. Type “W” screws are designed for easier fastening in wood.

Joints: At gypsum wallboard joints install a 2” paper tape. Press a strong, good quality tape firmly onto sheathing joints and around openings, imbedded in joint cement. At corners and angles, install metal corner beads as specified by manufacturer. If corners are rounded, install corner reinforcement as required. Spread gypsum wallboard mud at all tape joints, corner beads, nails and screw penetrations and where a smooth surface is needed. Apply second coat of wallboard mud after a minimum 24 hours. After drying (minimum 48 hours), sand all joints and other areas to a smooth consistent surface. Apply final skim coat of joint compound.

Interior Walls: Sheath walls and ceilings with 1/2” gypsum wallboard, either vertically with long edges parallel to framing, or horizontally with long edges at right angles to framing members. Apply one layer of 1/2” x 4’ x 9’ foot lengths to all wall surfaces. Offset joints between layers at least 10”.

Ceilings: Apply a single layer of 1/2” gypsum wallboard across the supports and fasten with nails or screws. Offset joints between layers at least 10”. Nails are spaced 6” on center (OC) with 1 1/4” heads. Screws are spaced 12” on center (OC). Ceiling finish shall be **smooth**.

Lower ceiling lighting cove: Apply a single layer of 1/2” gypsum as described on construction documents.

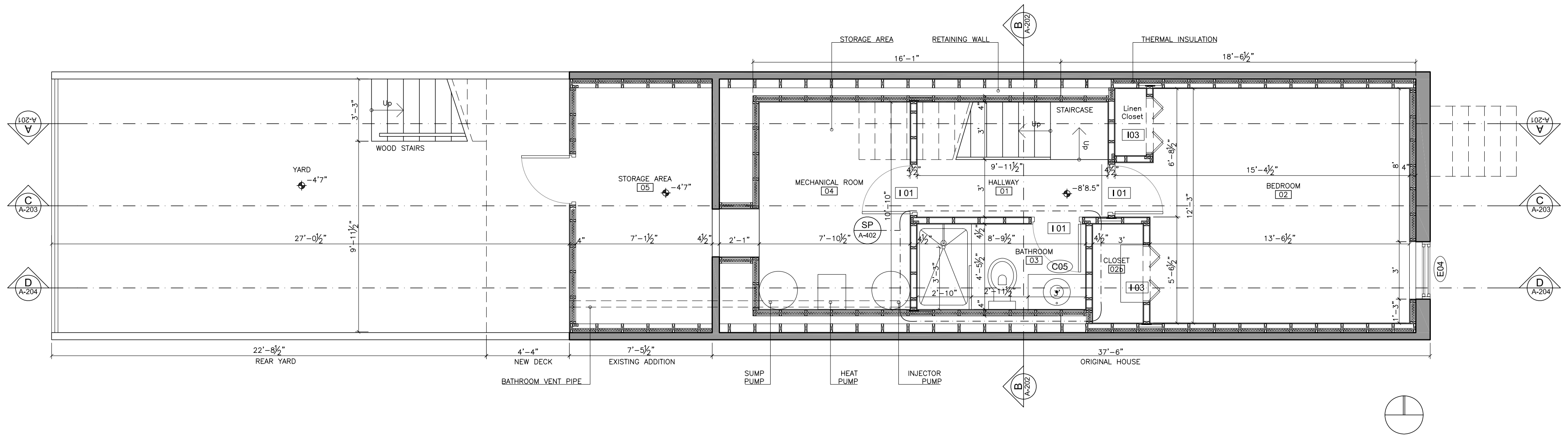
Gypsum Wallboard Specifications
1744 Johnson St.

Fire-Rated Gypsum Wallboard: Around gas water heaters and as required by applicable building codes, install 5/8" Type "X" fire-rated gypsum wallboard. Nails shall be 1 3/4" long, spaced a maximum of 4" on center (OC) around perimeter and 8" on center (OC) in the field of the board.

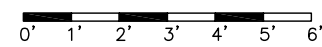
Water Resistant Gypsum Wallboard: Around showers, tubs, whirlpools, or as required by applicable building codes, install 1/2" water resistant drywall.

ROOM BY ROOM DETAIL

	Room	Area (sq ft)	Perimeter (ft)	Ceiling Height (ft)	Perimeter x Ceiling Height (sq ft)	Notes
BASEMENT	Hallway + Staircase	59.75	31.92	7.75	247.35	
	Bedroom	170.43	55.25	7.75	428.19	
	Bedroom Closet	13.56	15.58	7.75	120.77	
	Bedroom Linen Closet	5.69	10.25	7.75	79.44	
	Bathroom	39.20	26.50	7.75	205.38	
	Mechanical Room	85.31	37.42	7.75	289.98	
	Storage Area	87.88	38.92	3.85	149.99	
	Sub-totals	461.82			1521.10	
FIRST FLOOR	Living Room / Dining Area / Staircase	404.76	89.50	8.33	745.83	
	Kitchen	140.50	47.75	8.33	397.92	
	Sub-totals	545.26			1143.75	
SECOND FLOOR	Hallway + Staircase	127.95	50.17	8.21	411.78	
	Closet W/D	11.02	13.38	8.21	109.79	
	Heat Pump Closet	8.75	12.17	8.21	99.87	
	Front Bedroom	151.04	54.71	8.21	449.06	
	Front Bedroom Closet	20.12	18.08	8.21	148.43	
	East Bathroom	47.44	28.83	8.21	236.67	
	West Bathroom	47.44	28.83	8.21	236.67	
	Rear Bedroom	134.72	51.63	8.21	423.76	
	Rear Bedroom Closet	9.43	13.88	8.21	113.89	
Sub-totals	557.91			2229.93		
THIRD FLOOR	Hallway + Staircase	69.80	44.08	8.75	385.73	Ceiling height varies from 8-1.5" to 8-9".
	Master Bedroom Hallway	61.75	47.17	8.75	412.71	
	Master Bedroom	191.32	55.83	8.75	488.54	
	Linen Closet	6.23	10.92	8.75	95.52	
	Walk-in Closet	33.75	24.00	8.75	210	
	Master Bathroom	55.50	33.67	8.75	294.58	
	Sub-totals	418.35			1887.08	
TOTALS		1983.34			6781.86	



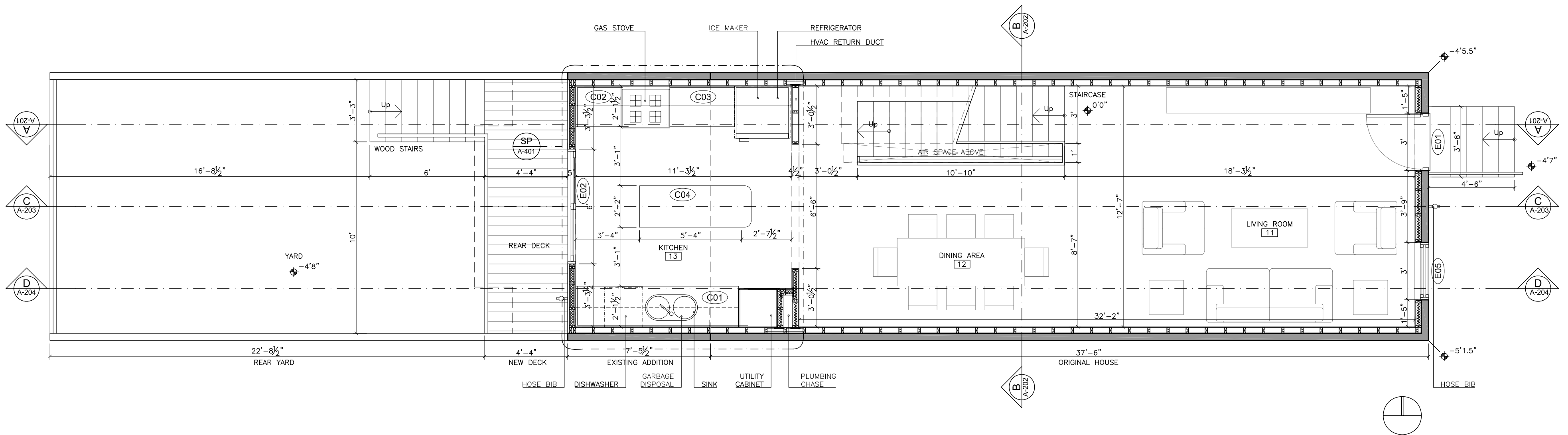
BASEMENT PLAN
SCALE 1/4"=1'



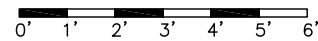
GBA
GREEN BUILDING ALTERNATIVES

PROJECT	Residence in 1744 Johnson St. Baltimore, MD 21230			SCALE	DATE	REV. N°
CLIENT	Erik Steensen Laura Steensen			1/4"=1'	12/18/06	14
TITLE	PROJECT DESIGN BASEMENT PLAN			DRAWN BY	REVISED BY	APPROVED BY
				FD	CA	
				FILE NAME	SHEET	
				A_GB_100_R14.dwg	A-100	
REV. N°	DESCRIPTION	DATE	APPROVED			
R03	Internal Information	05/19/06				
R09	Internal Information	06/15/06				
R10	Internal Information	06/27/06				
R11	Internal Information	07/06/06				
R12	Internal Information	09/11/06				
R13	Internal Information	11/07/06				
R14	Internal Information	12/18/06				

Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.

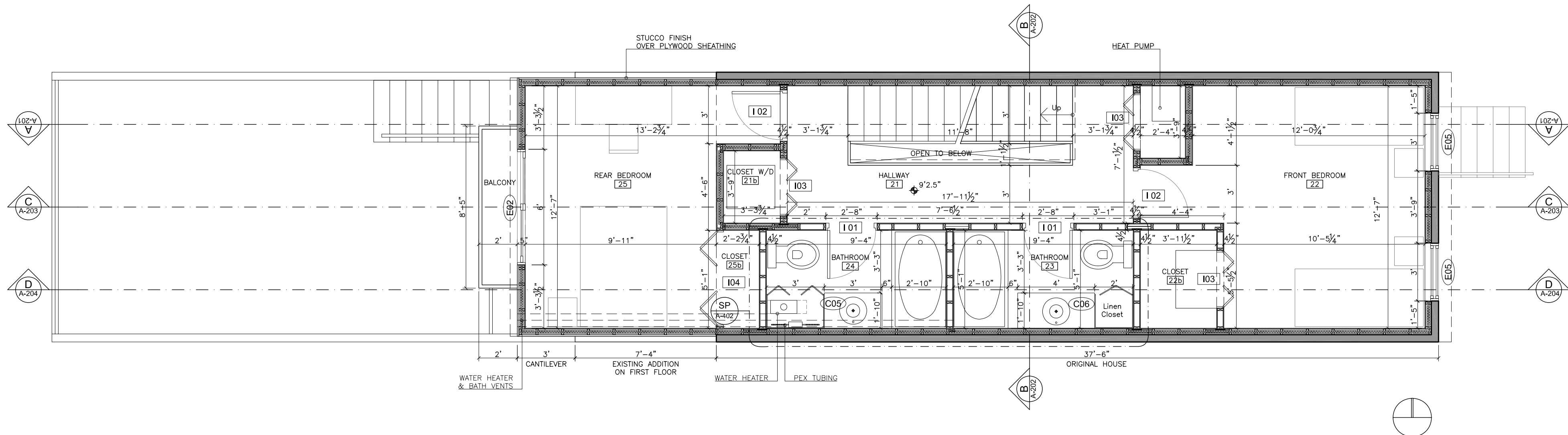


FIRST FLOOR PLAN
SCALE 1/4"=1'-0"



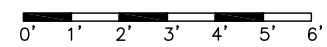
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GREEN BUILDING ALTERNATIVES

PROJECT Residence in 1744 Johnson St. Baltimore, MD 21230		SCALE 1/4"=1'-0"	DATE 12/18/06	REV. N° 14	REV. N°	DESCRIPTION	DATE	APPROVED
CLIENT Erik Steensen Laura Steensen		DRAWN BY FD	REVISED BY CA	APPROVED BY	R03	Internal Information	05/19/06	Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.
TITLE PROJECT DESIGN FIRST FLOOR PLAN		FILE NAME A_GB_101_R14.dwg	SHEET A-101	R10	Internal Information	06/27/06		
				R11	Internal Information	07/06/06		
				R12	Internal Information	09/11/06		
				R13	Internal Information	11/07/06		
				R14	Internal Information	12/18/06		



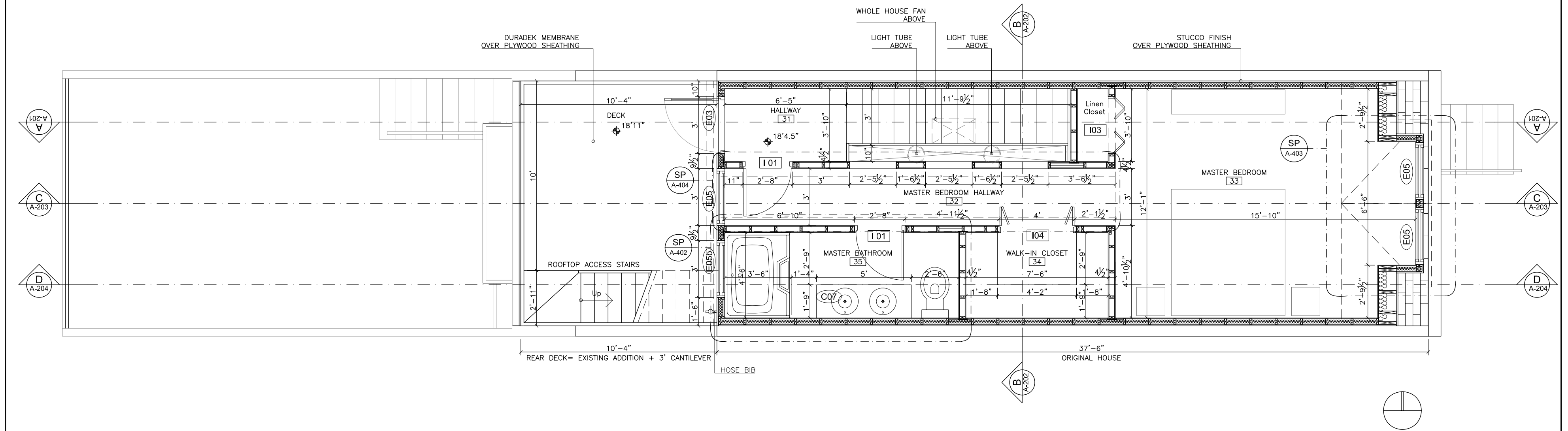
SECOND FLOOR PLAN

SCALE 1/4"=1'

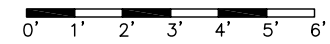


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GREEN BUILDING ALTERNATIVES

PROJECT Residence in 1744 Johnson St. Baltimore, MD 21230		SCALE 1/4"=1'	DATE 12/18/06	REV. N° 14	REV. N°	DESCRIPTION	DATE	APPROVED	Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.
CLIENT Erik Steensen Laura Steensen		DRAWN BY FD	REVISED BY CA	APPROVED BY	R9	Internal Information	05/19/06		
TITLE PROJECT DESIGN SECOND FLOOR PLAN		FILE NAME A_GB_102_R14.dwg	SHEET A-102		R10	Internal Information	06/15/06		
					R11	Internal Information	07/08/06		
					R12	Internal Information	09/11/06		
					R13	Internal Information	12/08/06		
					R14	Internal Information	12/18/06		

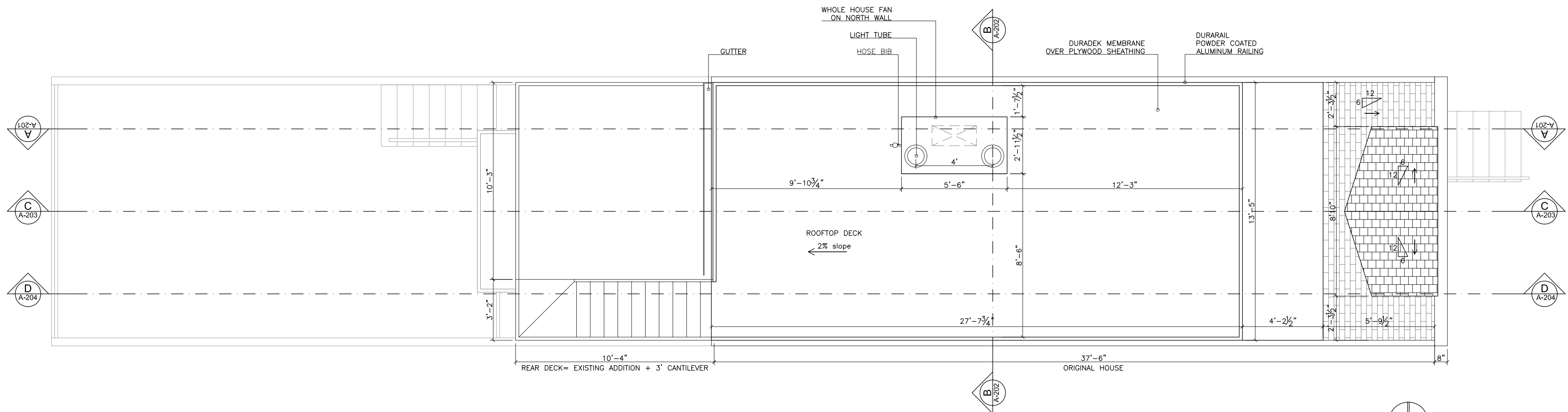


THIRD FLOOR PLAN
SCALE 1/4"=1'



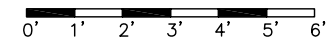
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GREEN BUILDING ALTERNATIVES

PROJECT Residence in 1744 Johnson St. Baltimore, MD 21230	SCALE 1/4"=1'	DATE 12/18/06	REV. N° 14	REV. N° R8	DESCRIPTION Internal Information	DATE 05/19/06	APPROVED	Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.
CLIENT Erik Steensen Laura Steensen	DRAWN BY FD	REVISED BY CA	APPROVED BY	R9	Internal Information	06/15/06		
TITLE PROJECT DESIGN THIRD FLOOR PLAN	FILE NAME A_GB_103_R14.dwg	SHEET A-103		R10	Internal Information	06/27/06		
				R11	Internal Information	07/06/06		
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				R13	Internal Information	12/06/06		
				R14	Internal Information	12/18/06		



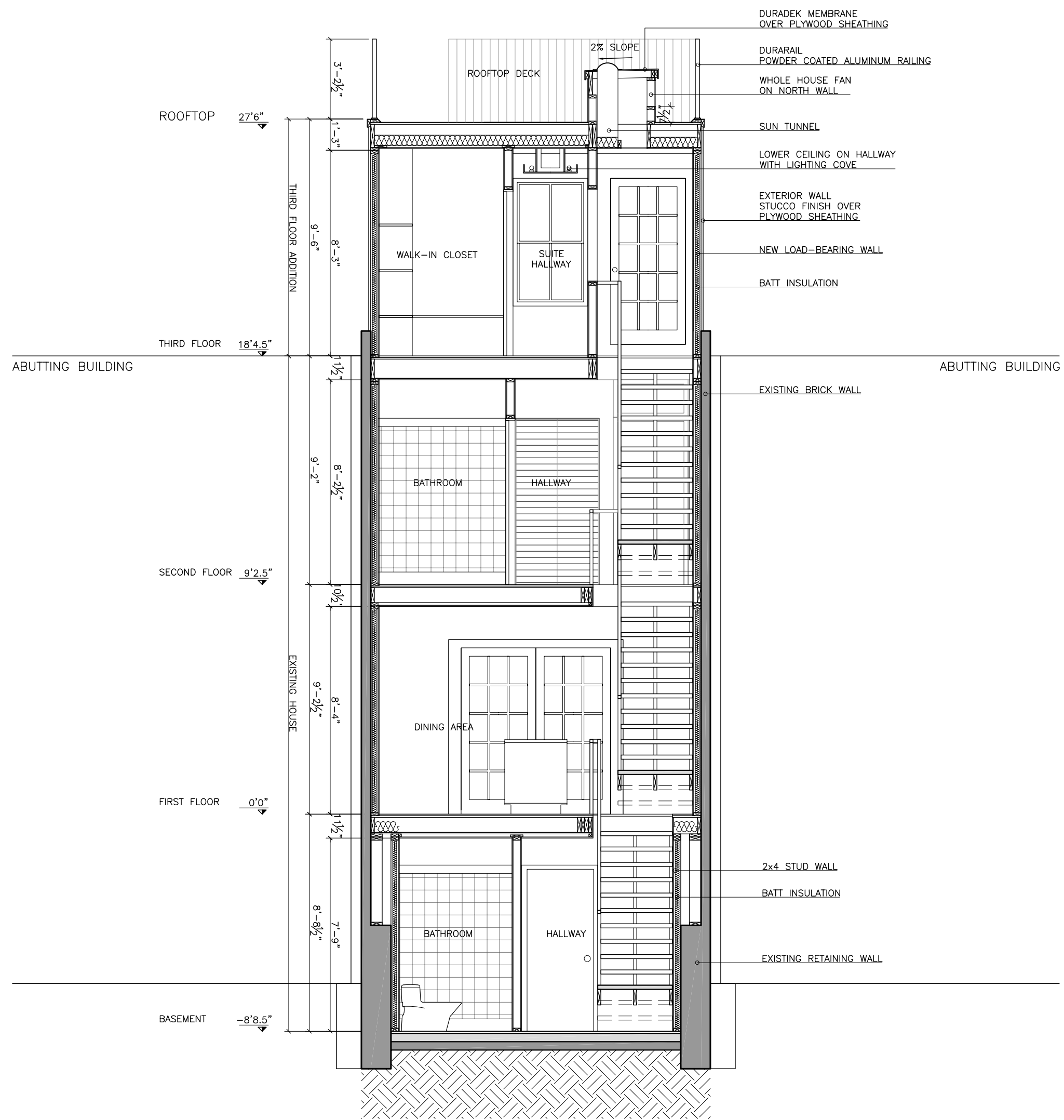
ROOFTOP PLAN

SCALE 1/4"=1'



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GREEN BUILDING ALTERNATIVES

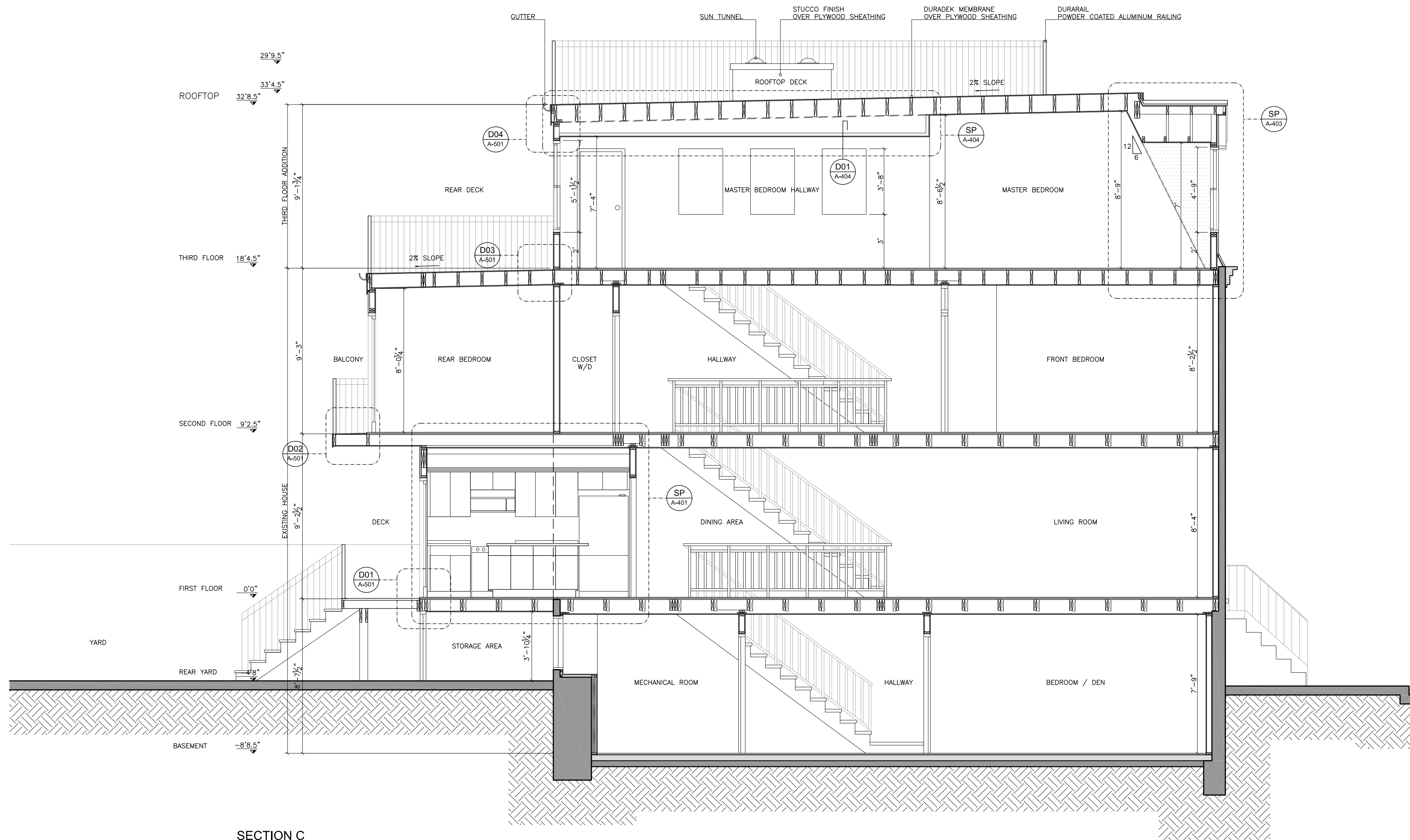
PROJECT	Residence in 1744 Johnson St. Baltimore, MD 21230			SCALE	DATE	REV. N°	REV. N°	DESCRIPTION	DATE	APPROVED	Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.
CLIENT	Erik Steensen Laura Steensen			1/4"=1'	12/18/06	14	R9	Internal Information	05/19/06		
TITLE	PROJECT DESIGN ROOFTOP PLAN			DRAWN BY	REVISED BY	APPROVED BY	R10	Internal Information	06/15/06		
				FD	CA		R11	Internal Information	07/06/06		
				FILE NAME		SHEET	R12	Internal Information	09/11/06		
				A_GB_104_R14.dwg		A-104	R13	Internal Information	12/26/06		
							R14	Internal Information	12/18/06		



SECTION B
SCALE 1/4"=1'

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GREEN BUILDING ALTERNATIVES

PROJECT	Residence in 1744 Johnson St. Baltimore, MD 21230			SCALE	DATE	REV. N°	REV. N°	DESCRIPTION	DATE	APPROVED	Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.
CLIENT	Erik Steensen Laura Steensen			1/4"=1'	12/18/06	14	R8	Internal Information	05/19/06		
TITLE	PROJECT DESIGN SECTION B			DRAWN BY	REVISED BY	APPROVED BY	R9	Internal Information	06/15/06		
				FD	CA		R10	Internal Information	06/27/06		
				FILE NAME		SHEET	R11	Internal Information	07/06/06		
				A_GB_202_R14.dwg		A-202	R12	Internal Information	09/11/06		
							R13	Internal Information	12/06/06		
							R14	Internal Information	12/18/06		



SECTION C
SCALE 1/4"=1'

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GREEN BUILDING ALTERNATIVES

PROJECT	Residence in 1744 Johnson St. Baltimore, MD 21230			SCALE	1/4"=1'	DATE	12/18/06	REV. N°	14
CLIENT	Erik Steensen Laura Steensen			DRAWN BY	FD	REVISED BY	CA	APPROVED BY	
TITLE	PROJECT DESIGN SECTION C			FILE NAME	A_GB_203_R14.dwg	SHEET	A-203		
REV. N°	DESCRIPTION	DATE	APPROVED						
R8	Internal Information	05/19/06							
R9	Internal Information	06/15/06							
R10	Internal Information	06/27/06							
R11	Internal Information	07/06/06							
R12	Internal Information	09/11/06							
R13	Internal Information	12/06/06							
R14	Internal Information	12/18/06							

Note: All structural and construction elements are to be specified by specialist, and shall be incorporated to construction drawings. All dimensions given are subject to job site verification and adjustment to fit job site conditions.

